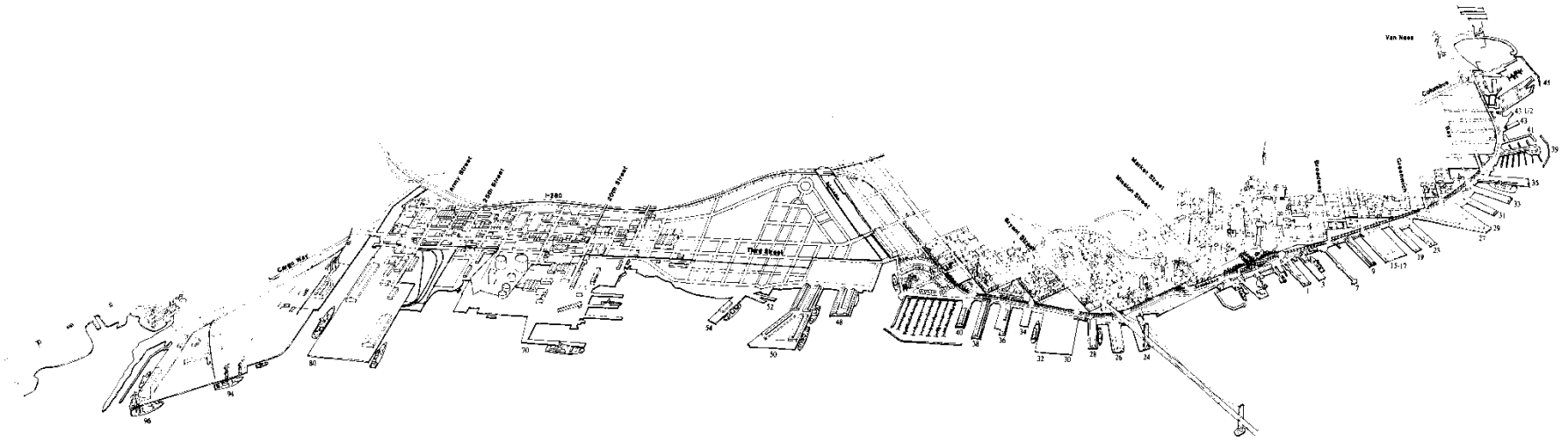




# Port of San Francisco



# The Port's Mission

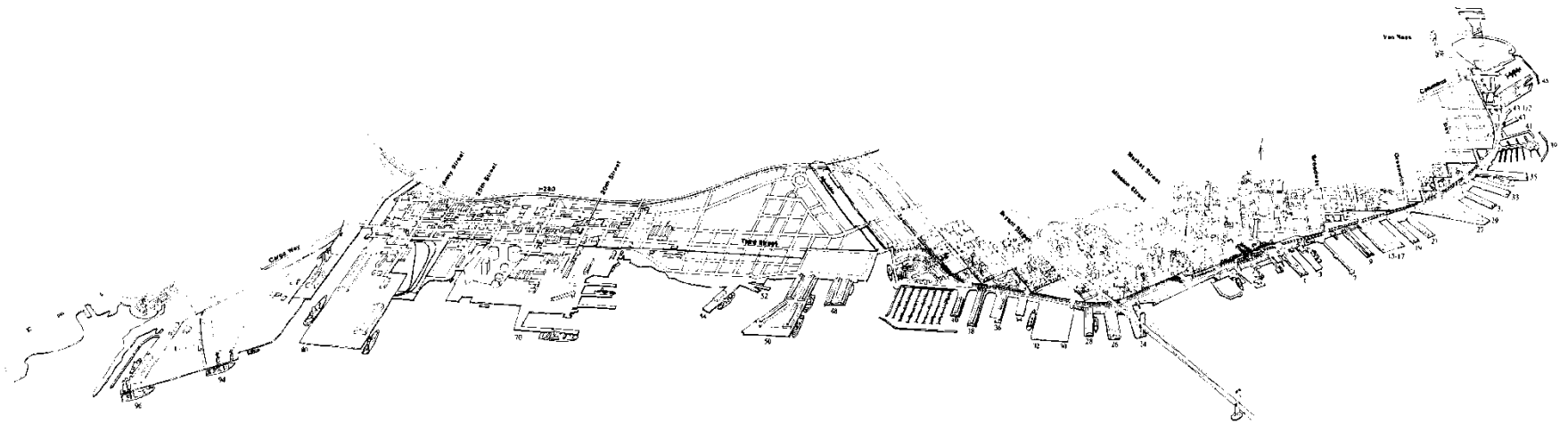


- **Promote maritime commerce, navigation and fisheries**
- **Protect natural resources**
- **Attract the public to use and enjoy the waterfront**



# The Port Today

- **7 ½ miles of prime San Francisco Waterfront**
- **Over 600 acres of facilities**
- **160 acres of maritime cargo / industrial facilities**
- **Over 270 buildings**
- **18.8 million sq. ft. of leased space under management**
- **The Port currently receives approximately 80% of its revenues from real estate related activities**



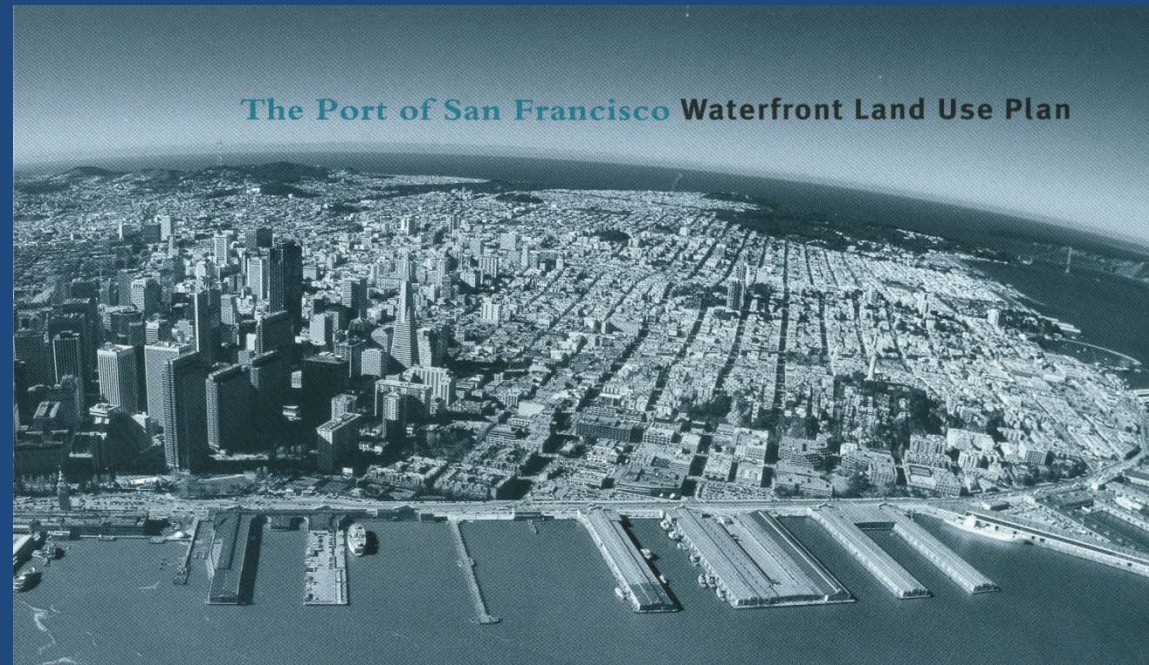


# Achieving Consensus: *The Port's Waterfront Land Use Plan*

- 6-year, inclusive community planning process, adopted 1997
- Reunite San Francisco with its Waterfront

## Established:

- Policies/objectives
- Allowable uses
- Design guidelines
- Process for ongoing community review





**EXPLORATORIUM**



**EXPLORATORIUM**



**CRUISE TERMINAL**



**CRUISE TERMINAL**





**CRUISE TERMINAL**

# MISSION ROCK



# MISSION ROCK



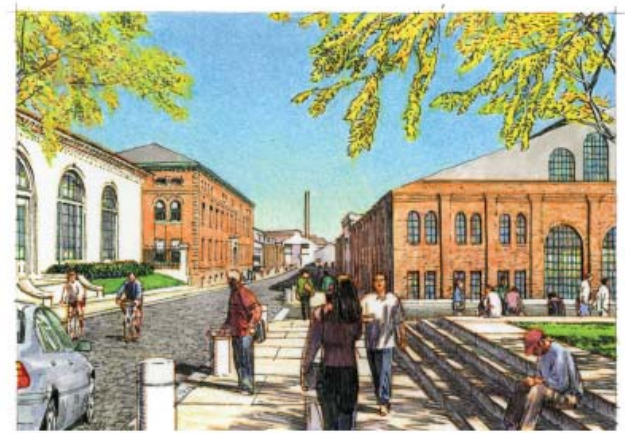
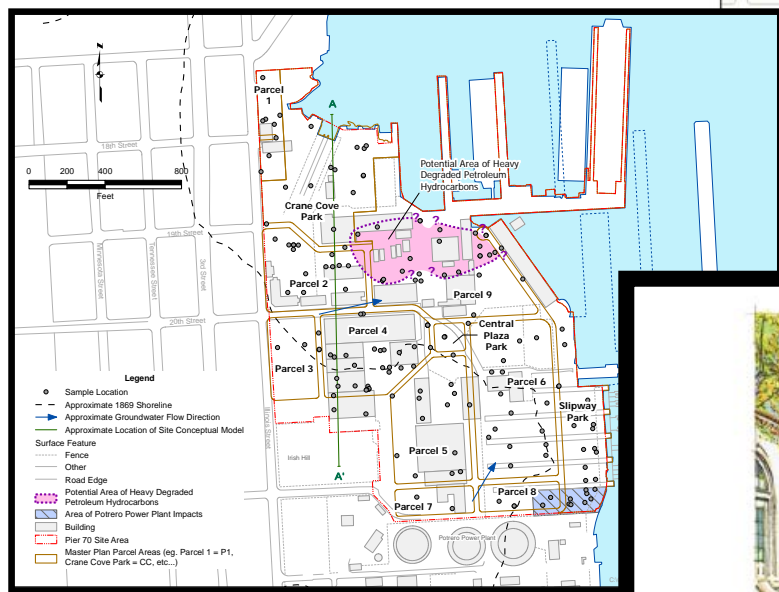
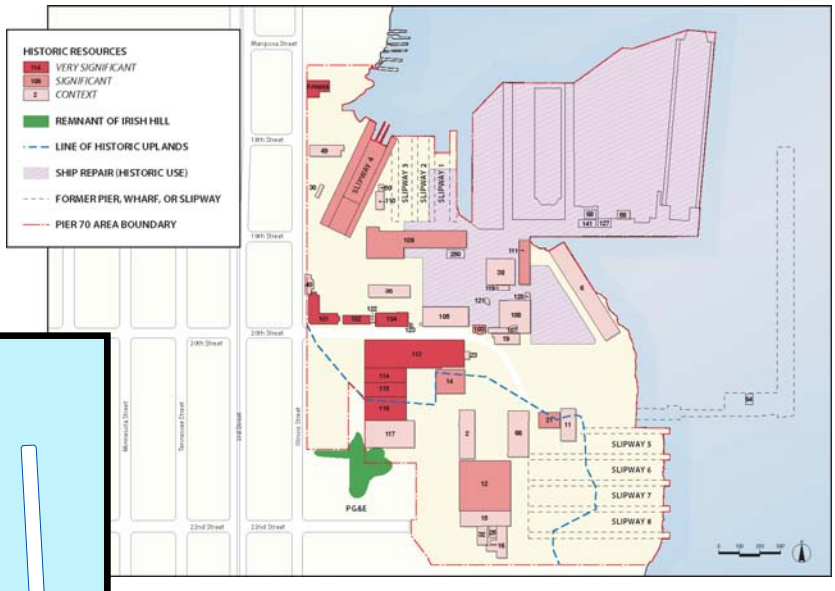
# MISSION ROCK





# Pier 70 Master Plan Area





# PIER 70

## PREFERRED MASTER PLAN



PORT OF SAN FRANCISCO  
APRIL 2010



# PIER 70

## WATERFRONT SITE

SAN FRANCISCO PORT COMMISSION

FORESTCITY

+ A Culture of Experimentation and Creativity

+ The Waterfront's Edge Ecology

+ History of Manufacturing, Industry & Transportation

**= A DYNAMIC WATERFRONT WHERE EXPERIENCE DRIVES PLACE**

- Office
- Showroom
- Flex
- Ground Floor: Potential Retail
- 2nd Floor: Restaurant
- Ground Floor: Meeting Rooms
- Classrooms
- Workout Area
- Office Building
- Shared Reception for Complex

## Workshops at Pier 70



ORTON DEVELOPMENT, Inc.



# CRANE COVE PARK



68

141

40

36

109

250

111

105

108

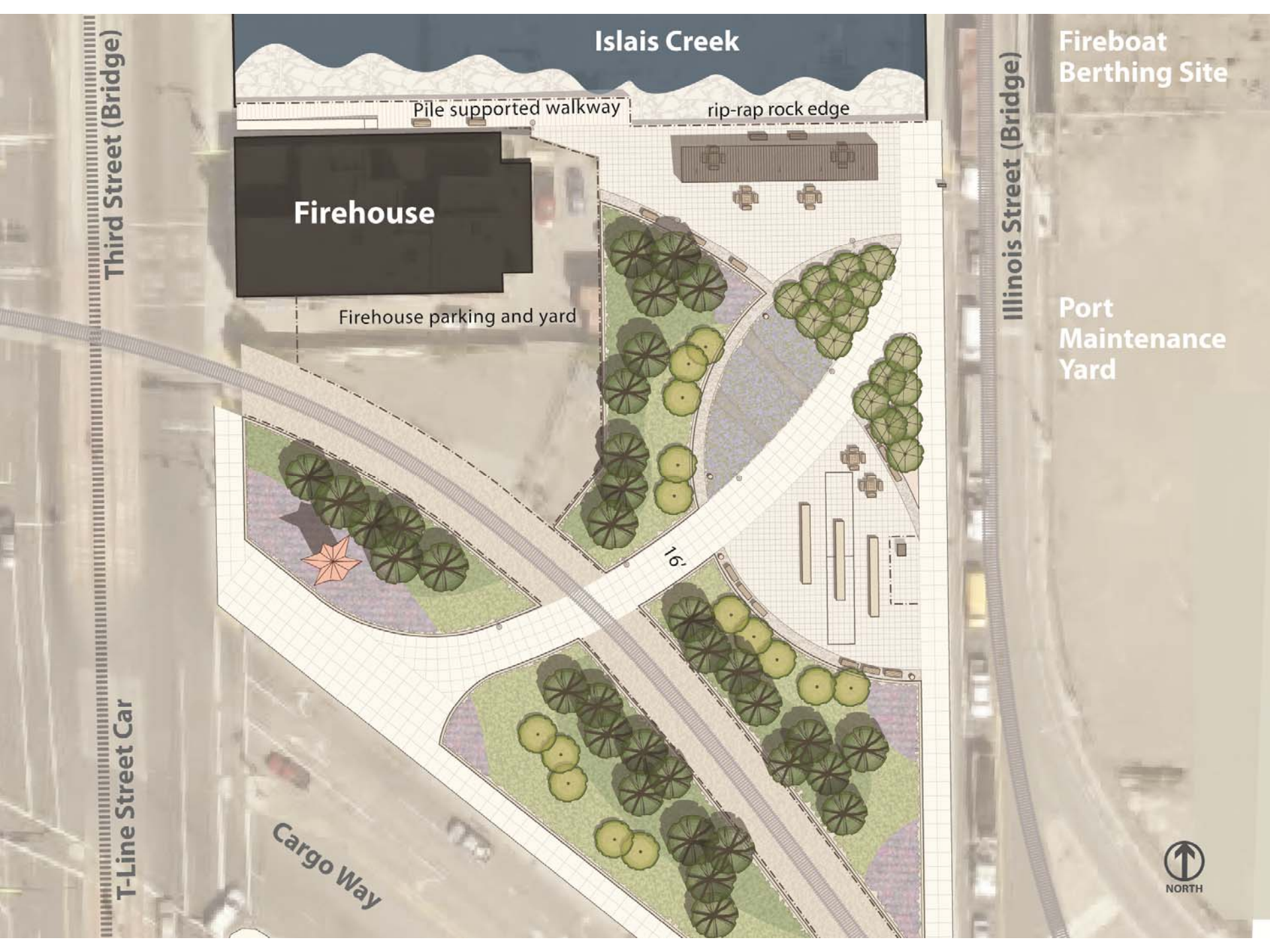
102

122

104

# BAYVIEW GATEWAY





Islais Creek

Pile supported walkway

rip-rap rock edge

Firehouse

Firehouse parking and yard

Fireboat Berthing Site

Port Maintenance Yard

Third Street (Bridge)

Illinois Street (Bridge)

T-Line Street Car

Cargo Way

16'

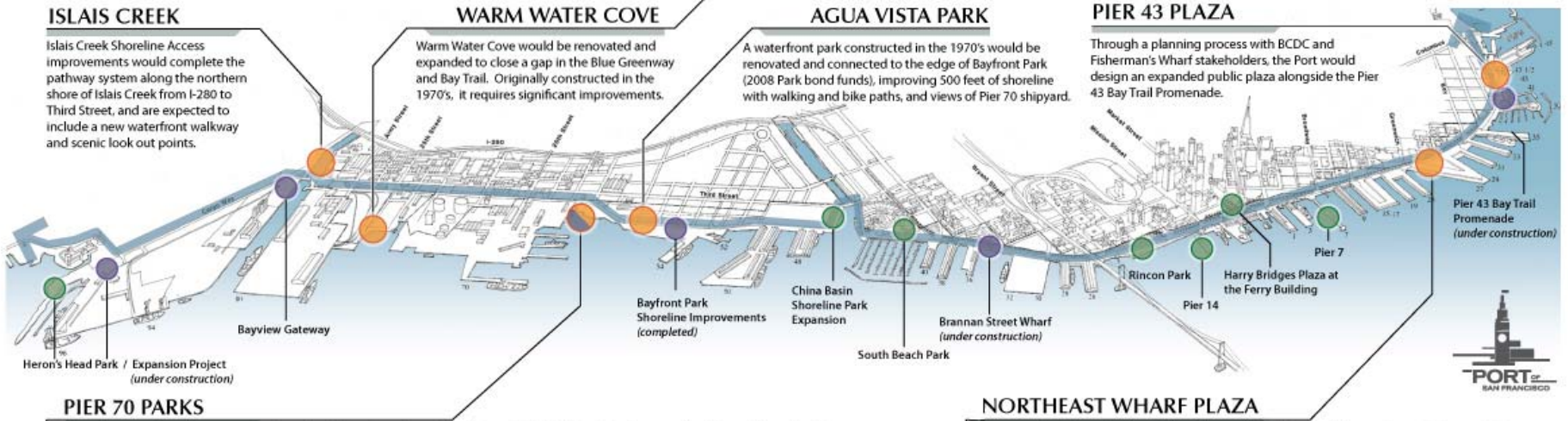


NORTH

# WATERFRONT OPEN SPACES

The Port of San Francisco's plan for a continuously walkable waterfront features a series of connected public spaces.

- Public Spaces Proposed for 2012 Neighborhood & Waterfront Parks Bond Funding
- Major Public Spaces – completed
- Projects with 2008 Neighborhood Parks Bond Funding



## ISLAIS CREEK

Islais Creek Shoreline Access improvements would complete the pathway system along the northern shore of Islais Creek from I-280 to Third Street, and are expected to include a new waterfront walkway and scenic look out points.

## WARM WATER COVE

Warm Water Cove would be renovated and expanded to close a gap in the Blue Greenway and Bay Trail. Originally constructed in the 1970's, it requires significant improvements.

## AGUA VISTA PARK

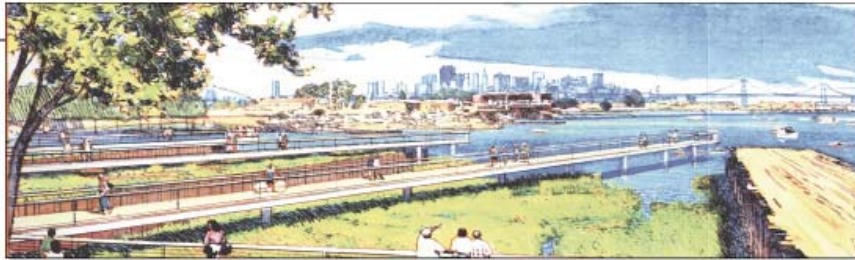
A waterfront park constructed in the 1970's would be renovated and connected to the edge of Bayfront Park (2008 Park bond funds), improving 500 feet of shoreline with walking and bike paths, and views of Pier 70 shipyard.

## PIER 43 PLAZA

Through a planning process with BCDC and Fisherman's Wharf stakeholders, the Port would design an expanded public plaza alongside the Pier 43 Bay Trail Promenade.

## PIER 70 PARKS

Pier 70 has a variety of open spaces planned including Crane Cove Park, Slipways Park, Machine Shop Courtyard and Central Plaza. Each site has an opportunity to provide significant benefit to the Blue Greenway and allow the public to enjoy and learn about the history of Pier 70. These projects allow for shoreline restoration and hazardous material remediation, bay access, bay water quality improvements, shoreline and upland native landscaping, historic interpretation and public art.



H:2012 GO BCDC\Graphics\parksbond\_04\_map\_2012

## NORTHEAST WHARF PLAZA

A new park on Pier 27 bordering The Embarcadero, the Bay and the new James R. Herman Cruise Terminal that would feature a large lawn and places to enjoy views of the Bay and cruise ships.



Draw: March 21, 2012





**PORT** OF  
**SAN FRANCISCO**

# Governance and Oversight

